



* £350,000 - £375,000 * Three bedroom semi-detached house offering potential for off-street parking to the front, WELL PRESENTED living accommodation throughout and an EXTENSIVE REAR GARDEN with a sizable -much larger than average - SUMMERHOUSE! Found within easy reach of favoured SCHOOLS, as well as amenities and access to SOUTHEAST EAST TRAIN STATION!

- Semi-Detached Family Home
- Open Plan Kitchen/Diner
- Outdoor WC
- Large Summerhouse
- Close to Bus Links and Southend East Train Station
- Bay Fronted Lounge
- Two Double Bedrooms and One Single Bedroom
- Extensive Garden
- Double Glazing and Gas Central Heating
- Catchment to Excellent Schools

Durham Road

Southend-on-Sea

£350,000

Price Guide



Durham Road



This well-loved family home is proudly appointed within walking distance of excellent schools such as Hamstel Junior School, Southchurch High School and Southend High School for Girls. Favoured amenities are within easy reach, as well as Southchurch Park and the ever-popular seafront. For commuters, bus links are moments away, whilst Southend East Train Station is within walking distance and offers direct access to London on the C2C line.

The property has been presented to a good standard throughout, offering a large bay fronted lounge, a spacious open plan kitchen/diner and a conservatory on the ground floor. There are two double bedrooms found on the first floor, as well as a single bedroom and a stylish three piece bathroom. The front offers the potential for off-street parking STPP. To the rear, there is an extensive laid to lawn garden that has a patio seating area, a sizeable summerhouse and access to an outdoor WC.

CALL BEAR ESTATE AGENTS TO VIEW!

Three Bedroom Semi-Detached House

Entrance Hall

11'8 x 5'10

Lounge

15'8 x 10'9

Kitchen/Diner

16'10 x 11'2

Conservatory

13'9 x 6'2

Landing

7'11 x 6'6

Bedroom One

16'3 x 10'0

Bedroom Two

11'3 x 10'0

Bedroom Three

10'4 x 6'7

Three Piece Bathroom

6'5 x 6'5

WC

5'0 x 2'8

Potential for Off-Street Parking STPP

Garden

Summerhouse

Double Glazing

Gas Central Heating



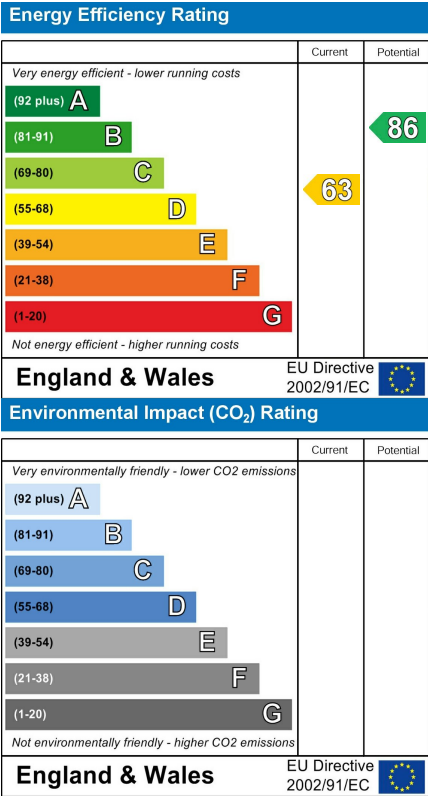
Floor Plan



Area Map



Energy Efficiency Graph



Viewing

Please contact our Southend-on-Sea Office on 01702 811211 if you wish to arrange a viewing appointment for this property or require further information.

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.

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